



NATHERS REPORT

PROJECT: Proposed Development

CLIENT: Goodtime Holdings Pty Ltd

ADDRESS: 277 The Grand Parade, Ramsgate NSW 2257

BUILDING CLASS: Class 2

CLIMATE ZONE: 56

LOCAL GOVERNMENT AUTHORITY:

Bayside Council

Report Completed 20th Sept 2024

Assessor: Sian Fishwick

Accreditation: HERA10295

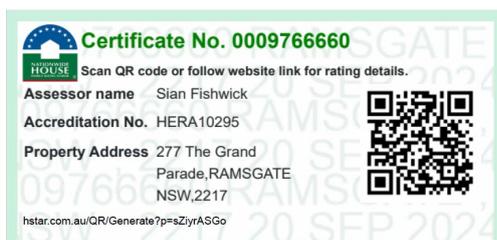




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PROJECT DETAILS

PROJECT ADDRESS	277 The Grand Parade, Ramsgate NSW 2217
SITE DETAILS	Lots 9; DP11037,
LOCAL COUNCIL	Bayside Council
DESIGNER	FJC Studio

ASSESSMENT DETAILS

DATE	20/09/2024
CERTIFICATE	0009766660
CLIMATE ZONE	56
SOFTWARE	BersPro 5

ASSESSMENT OUTCOMES

AVERAGE NATHERS RATING	6.4 STARS
AVERAGE HEATING LOAD:	26.5 MJm ² .pa
AVERAGE COOLING LOAD:	8.1 MJm ² .pa



BUILDING SPECIFICATIONS

CONSTRUCTION MATERIALS

	CONSTRUCTION	INSULATION	NOTES
EXTERNAL WALLS	200mm Concrete (steel stud) with Plasterboard	R2.0	DEFAULT medium in colour; R0.2 Thermal Break
INTERNAL WALLS	Plasterboard (steel framed)	None	
	Party walls: 200mm Concrete (steel stud) with Plasterboard	None	
ROOF	Concrete	None	DEFAULT medium in colour
CEILING	Plasterboard below Concrete : between levels	None	
	Plasterboard below Concrete: below balcony	R2	
	Plasterboard below Concrete: below roof	R2.5	R0.4 Thermal Break; Upgrade: R3.5
FLOOR	Suspended Concrete (open and above Car Park)	R1.1	
	Suspended Concrete (between levels)	None	
FLOOR COVERINGS	Tiles	-	Wet areas
	Carpet with underlay	-	Bedrooms
	Timber	-	All remaining areas



Certificate No. 0009766660

Scan QR code or follow website link for rating details.

Assessor name Sian Fishwick

Accreditation No. HERA10295

Property Address 277 The Grand
Parade, RAMSGATE
NSW, 2217



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GLAZING MATERIALS

AWS glazing:

Aluminum Double Glazed Clear Glazing:

Sliding Doors:

U-value: 4.2 (equal to or lower than) SHGC: 0.60 (±5%)

Awning Windows:

U-value: 4.8 (equal to or lower than) SHGC: 0.52 (±5%)

Upgrade 1:

Sliding Doors:

U-value: 3.6 (equal to or lower than) SHGC: 0.54 (±5%)

Awning Windows:

U-value: 4.4 (equal to or lower than) SHGC: 0.48 (±5%)

Upgrade 2:

Sliding Doors:

U-value: 3.4 (equal to or lower than) SHGC: 0.54 (±5%)

Awning Windows:

U-value: 4.2 (equal to or lower than) SHGC: 0.49 (±5%)

Upgrade 3:

Sliding Doors:

U-value: 3.0 (equal to or lower than) SHGC: 0.59 (±5%)

Awning Windows:

U-value: 3.5 (equal to or lower than) SHGC: 0.53 (±5%)

* Proxy glazing modelled where nominated glazing unavailable in software library

* Given values are AFRC total window system values (glass and frame)

* All windows are to comply with AS 2047 and bedroom windows where the lowest openable portion of the window is within 1.7m of FFL and the FFL is 2m or more above NGL, require a permanently fixed device restricting any openings of the window or screen so that a 125mm sphere cannot pass through; and resisting outwards horizontal of 250N against the window.

All windows are to match the software ratings

LIGHTING/AIRFLOW SCHEDULE

Recessed LED downlights (sealed) modelled at rate of 1 per 5m²

Recessed IC-Rated downlights (sealed) modelled at rate of 1 per 5m² to Units 5.06, 5.07, 5.08, 5.09, 5.10

Exhaust fans (sealed) modelled to Kitchen, Laundry and Bathrooms





GENERAL NOTES

**All insulation requirements must match the software ratings.

*All exhaust fans must be sealed.

*Please note the thermal performance services we provide are not classified as 'building work', and do not involve us preparing or providing 'regulated designs', under the *Design and Building Practitioners Act 2020 (NSW) (Act)*. Requests for any form of compliance declaration required under the Act should be directed to the appropriate building or design practitioner. Whilst our services provide registered building certifiers with the information they may require in order to provide compliance certificates (particularly in respect of whether regulatory thermal performance requirements will be met), registered building certifiers are solely responsible for issuing such compliance certificates.

Apartment Summary

Multi Development

**277 The Grand Parade
Ramsgate NSW 2217**

Issued in accordance with BASIX Thermal Comfort Simulation Method

Certificate #							Accreditation # HERA10295
Thermal performance specifications							
Unit number	Number of Bedrooms	Floor area (M ²)		Predict. loads (MJ/M ² /y)		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heat	Cool (Sens & Lat)		
1.01	3	127.5	0	32.8	14	5.3	None
1.02	3	127.8	0	14.8	7.1	7.9	None
1.03	3	127.3	0	30	6.1	6.2	None
1.04	3	127.8	0	16.3	5.9	7.9	None
1.05	2	92.1	0	14.8	6.4	7.9	None
1.06	3	140.8	0	27.8	8.1	6.3	Glazing upgrade 1 to Kitch/Living/Dining Sliding Doors
1.07	3	114.2	0	30.6	8.4	5.9	None
1.08	2	85.6	0	24.7	6	6.9	None
1.09	3	115	0	31.9	6.5	5.9	Glazing upgrade 2 to Kitch/Living/Dining; Glazing upgrade 1 to Bedrooms
1.10	3	143.3	0	31.6	11.1	5.4	Glazing upgrade 2 to Kitch/Living/Dining; Glazing upgrade 1 to Bedrooms
2.01	3	119.2	0	27.3	14.4	5.7	None
2.02	3	115.9	0	19.5	6.3	7.4	None
2.03	3	115.7	0	17.3	7.1	7.6	None
2.04	3	115.9	0	18.9	5.9	7.5	None
2.05	2	84.7	0	20.2	5.9	7.4	None
2.06	3	129.4	0	28.4	8.3	6.2	Glazing upgrade 1 to Kitch/Living/Dining Sliding Doors
2.07	3	114.2	0	30.1	8.4	5.9	None
2.08	2	85.6	0	25.5	7.3	6.6	None
2.09	3	115	0	31.7	6.7	5.9	Glazing upgrade 2 to Kitch/Living/Dining; Glazing upgrade 1 to Bedrooms
2.10	3	125.2	0	32.2	12.1	5.4	Glazing upgrade 2 to ALL Windows/Doors
3.01	3	119.2	0	26.8	16.4	5.6	None
3.02	3	115.9	0	19.9	6.3	7.4	None
3.03	3	115.7	0	17.7	7.2	7.5	None
3.04	3	115.9	0	19.3	5.9	7.4	None
3.05	2	84.7	0	20.6	5.9	7.3	None
3.06	3	129.4	0	28.8	8.3	6.1	Glazing upgrade 1 to Kitch/Living/Dining Sliding Doors
3.07	3	114.2	0	30.6	8.7	5.9	None
3.08	2	85.6	0	26	7.3	6.6	None
3.09	3	115	0	31.6	6.7	5.9	Glazing upgrade 2 to Kitch/Living/Dining; Glazing upgrade 1 to Bedrooms
3.10	3	125.2	0	32.7	12.5	5.4	Glazing upgrade 2 to ALL Windows/Doors

Certificate No. 0009766660

Scan QR code or follow website link for rating details.

Assessor name: Sian Fishwick

Accreditation No.: HERA10295

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Apartment Summary

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Unit number	Number of Bedrooms	Floor area (M ²)		Predict. loads (MJ/M ² /y)		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heat	Cool (Sens & Lat)		
4.01	3	119.2	0	26.7	16.1	5.6	None
4.02	3	115.9	0	20.4	6.4	7.3	None
4.03	3	115.7	0	17.6	7.4	7.5	None
4.04	3	115.9	0	19.8	5.9	7.4	None
4.05	2	84.7	0	21.1	6	7.3	None
4.06	3	129.4	0	29.3	8.3	6	Glazing upgrade 1 to Kitch/Living/Dining Sliding Doors
4.07	3	114.2	0	31.1	8.6	5.9	None
4.08	2	85.6	0	26.6	7.3	6.5	None
4.09	3	115	0	32.2	6.8	5.9	Glazing upgrade 2 to Kitch/Living/Dining; Glazing upgrade 1 to Bedrooms
4.10	3	125.2	0	32.6	12.4	5.4	Glazing upgrade 2 to ALL Windows/Doors
5.01	3	119.2	0	32.2	14.4	5.3	None
5.02	3	115.9	0	29.2	6	6.3	None
5.03	3	115.7	0	25.7	6.2	6.8	None
5.04	3	115.9	0	28.3	5.3	6.6	None
5.05	2	84.7	0	30	5	6.4	None
5.06	3	129.4	0	32.2	7.2	5.9	Glazing upgrade 2 to ALL Windows/Doors; IC-Rated downlights
5.07	3	114.2	0	32.9	6.7	5.9	Glazing upgrade 2 to ALL Windows/Doors; IC-Rated downlights
5.08	2	85.6	0	32.7	6.4	5.9	Glazing upgrade 1 to Kitch/Living/Dining Sliding Doors; IC-Rated downlights
5.09	3	115	0	32.6	5.9	5.9	Glazing upgrade 3 to ALL Windows/Doors; IC-Rated downlights; R3.5 to ceiling below roof
5.10	3	125.2	0	32.4	10.7	5.6	Glazing upgrade 3 to ALL Windows/Doors; IC-Rated downlights

Certificate No. 0009766660

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Assessor name: Sian Fishwick

Accreditation No. HERA10295

Property Address: 277 The Grand Parade, RAMSGATE NSW, 2217

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Nationwide House Energy Rating Scheme® Class 2 Summary NatHERS® Certificate No. 0009766660

Generated on 20 Sep 2024 using BERS Pro v5.2.2 (3.23)

Property

Address 277 The Grand Parade,
RAMSGATE , NSW , 2217
Lot/DP Lot 9 DP 11037
NatHERS Climate Zone 56 Mascot (Sydney Airport)



Accredited assessor

Name Sian Fishwick
Business name Illawarra BASIX Solutions
Email sian.illawarrabasixsolutions@gmail.com
Phone 0427996791
Accreditation No. HERA10295
Assessor Accrediting Organisation
HERA

Verification

To verify this certificate, scan the QR code or visit hstar.com.au/QR/Generate?p=sZiyrASGo. When using either link, ensure you are visiting hstar.com.au



National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J3D3 and J3D15 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ABCB Standards and support material, can be accessed at www.abcb.gov.au.

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) [MJ/m ² /p.a.]	Cooling load (load limit) [MJ/m ² /p.a.]	Total load [MJ/m ² /p.a.]	Star Rating	Whole of Home Rating
0009766155-03	1.01	32.8 (N/A)	14.1 (N/A)	46.9	5.3	0
0009766197-03	1.02	14.8 (N/A)	7.1 (N/A)	21.9	7.9	0

Thermal performance
Star rating



**NATIONWIDE
HOUSE**
ENERGY RATING SCHEME®

The rating above is the average of all dwellings in this summary.

For more information on your dwelling's rating see:
www.nathers.gov.au

NCC heating and cooling maximum loads (MJ/m²/p.a.)

Limits taken from ABCB Standard 2022

	Heating	Cooling
Modelled block average	26.5	8.1
Maximum block limit	N/A	N/A

Whole of Home performance rating

No Whole of Home performance rating conducted for this summary certificate
or
not completed for all dwellings



Summary of all dwellings (continued)

Certificate number and link	Unit Number	Heating load (load limit) [MJ/m ² /p.a.]	Cooling load (load limit) [MJ/m ² /p.a.]	Total load [MJ/m ² /p.a.]	Star Rating	Whole of Home Rating
0009766221-03	1.03	30.0 (N/A)	6.1 (N/A)	36.1	6.2	0
0009766247-03	1.04	16.3 (N/A)	5.9 (N/A)	22.2	7.9	0
0009766171-03	1.05	14.8 (N/A)	6.4 (N/A)	21.2	7.9	0
0009766189-03	1.06	27.8 (N/A)	8.1 (N/A)	35.9	6.3	0
0009766213-03	1.07	30.6 (N/A)	8.4 (N/A)	39.0	5.9	0
0009766239-03	1.08	24.5 (N/A)	6.0 (N/A)	30.5	6.9	0
0009766163-03	1.09	31.9 (N/A)	6.5 (N/A)	38.3	5.9	0
0009766205-03	1.10	31.6 (N/A)	11.1 (N/A)	42.7	5.6	0
0009766288-01	2.01	27.3 (N/A)	14.4 (N/A)	41.7	5.7	0
0009766304-01	2.02	19.5 (N/A)	6.3 (N/A)	25.7	7.4	0
0009766320-01	2.03	17.3 (N/A)	7.1 (N/A)	24.5	7.6	0
0009766346-01	2.04	18.9 (N/A)	5.9 (N/A)	24.8	7.5	0
0009766254-01	2.05	20.2 (N/A)	5.9 (N/A)	26.1	7.4	0
0009766262-01	2.06	28.4 (N/A)	8.3 (N/A)	36.7	6.2	0
0009766270-01	2.07	30.1 (N/A)	8.4 (N/A)	38.5	5.9	0
0009766296-01	2.08	25.3 (N/A)	7.4 (N/A)	32.7	6.7	0
0009766312-01	2.09	31.7 (N/A)	6.7 (N/A)	38.3	5.9	0
0009766338-01	2.10	32.2 (N/A)	12.1 (N/A)	44.3	5.4	0
0009766353-01	3.01	26.8 (N/A)	16.4 (N/A)	43.2	5.6	0
0009766387-01	3.02	19.9 (N/A)	6.3 (N/A)	26.2	7.4	0
0009766411-01	3.03	17.7 (N/A)	7.2 (N/A)	24.9	7.5	0
0009766437-01	3.04	19.3 (N/A)	5.9 (N/A)	25.1	7.4	0
0009766361-01	3.05	20.6 (N/A)	5.9 (N/A)	26.5	7.4	0
0009766403-01	3.06	28.8 (N/A)	8.3 (N/A)	37.0	6.1	0
0009766429-01	3.07	30.6 (N/A)	8.7 (N/A)	39.4	5.9	0
0009766445-01	3.08	25.9 (N/A)	7.3 (N/A)	33.1	6.6	0
0009766379-01	3.09	31.6 (N/A)	6.7 (N/A)	38.4	5.9	0
0009766395-01	3.10	32.7 (N/A)	12.5 (N/A)	45.1	5.4	0
0009766460-01	4.01	26.7 (N/A)	16.1 (N/A)	42.9	5.6	0
0009766502-01	4.02	20.4 (N/A)	6.4 (N/A)	26.8	7.3	0
0009766528-01	4.03	17.6 (N/A)	7.4 (N/A)	24.9	7.5	0
0009766544-01	4.04	19.8 (N/A)	5.9 (N/A)	25.7	7.4	0
0009766452-01	4.05	21.1 (N/A)	6.0 (N/A)	27.1	7.3	0
0009766486-01	4.06	29.3 (N/A)	8.3 (N/A)	37.7	6	0



<u>0009766510-01</u>	4.07	31.1 (N/A)	8.6 (N/A)	39.8	5.9	0
<u>0009766536-01</u>	4.08	26.4 (N/A)	7.2 (N/A)	33.6	6.6	0
<u>0009766478-01</u>	4.09	32.2 (N/A)	6.8 (N/A)	39.0	5.9	0
<u>0009766494-01</u>	4.10	32.6 (N/A)	12.3 (N/A)	44.9	5.4	0
<u>0009766569-01</u>	5.01	32.2 (N/A)	14.4 (N/A)	46.6	5.3	0
<u>0009766585-01</u>	5.02	29.2 (N/A)	6.0 (N/A)	35.3	6.3	0
<u>0009766627-01</u>	5.03	25.7 (N/A)	6.2 (N/A)	31.9	6.8	0
<u>0009766635-01</u>	5.04	28.3 (N/A)	5.3 (N/A)	33.6	6.6	0
<u>0009766551-01</u>	5.05	30.0 (N/A)	5.0 (N/A)	35.0	6.4	0
<u>0009766593-01</u>	5.06	32.2 (N/A)	7.2 (N/A)	39.4	5.9	0
<u>0009766619-01</u>	5.07	32.9 (N/A)	6.7 (N/A)	39.6	5.9	0
<u>0009766643-01</u>	5.08	32.7 (N/A)	6.4 (N/A)	39.0	5.9	0
<u>0009766577-01</u>	5.09	32.6 (N/A)	5.9 (N/A)	38.5	5.9	0
<u>0009766601-01</u>	5.10	32.4 (N/A)	10.7 (N/A)	43.1	5.6	0

Explanatory notes

About this ratings

The thermal performance star rating in this Certificate is the average rating of all NCC Class 2 dwellings in an apartment block. Individual unit ratings are listed in the 'Summary of all dwellings' section of this Certificate.

NatHERS ratings use computer modelling to evaluate a home's energy efficiency and performance. They use localised climate data and standard assumptions on how people use their home to predict the energy loads and societal cost. The thermal performance star rating uses the home's building specifications, layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings) to predict the heating and cooling energy loads.

For more details about an individual dwelling's assessment, refer to the individual dwelling's NatHERS Certificate (accessible via link).

Accredited Assessors

For high quality NatHERS Certificates, always use an accredited or licenced assessor registered with an Assessor Accrediting Organisation (AAO). AAOs have strict quality assurance processes, and professional development requirements ensuring consistently high standards for assessments.

Non-accredited assessors (Raters) have no ongoing training requirements and are not quality assured.

Licensed assessors in the Australian Capital Territory (ACT) can produce assessments for regulatory purposes only, using endorsed software, as listed on the ACT licensing register.

Any queries about this report should be directed to the assessor. If the assessor is unable to address questions or concerns, contact the AAO specified on the front of this certificate.

Disclaimer

The NatHERS Certificate format is developed by the NatHERS Administrator. However, the content in certificates is entered by the assessor. It is the assessor's responsibility to use NatHERS accredited software correctly and follow the NatHERS Technical Note to produce a NatHERS Certificate.

The predicted annual energy use, cost and greenhouse gas emissions in this NatHERS Certificate are an estimate based on an assessment of the dwelling's design by the assessor. It is not a prediction of actual energy use, cost or emissions. The information and ratings may be used to compare how other dwellings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, behaviour, appliance performance, indoor air temperature and local climate.



Not all assumptions made by the assessor while using the NatHERS accredited software tool are presented in this report and further details or data files may be available from the assessor.



General notes

- All dimensions and existing conditions shall be checked and verified by the contractor before proceeding with the work.
- All levels relative to 'Australian Height Datum'.
- Do not scale drawings.
- Use figured dimensions only.

Legend

277 The Grand Parade Ramsgate

Development Application Drawing List

1000	Cover Sheet	Cover Sheet	03
1200	Site Plan	Site Location Plan	01
1201	Site Plan	Site Plan Existing	01
1202	Site Plan	Site Plan Analysis	01
2000	General Arrangement Plans	GF Ground Floor Plan	03
2001	General Arrangement Plans	L1 Level 1 Floor Plan	03
2002	General Arrangement Plans	L2 Level 2 Floor Plan	03
2003	General Arrangement Plans	L3 Level 3 Floor Plan	03
2004	General Arrangement Plans	L4 Level 4 Floor Plan	03
2005	General Arrangement Plans	L5 Level 5 Floor Plan	03
2006	General Arrangement Plans	Roof Plan	03
2015	General Arrangement Plans	B1 Basement 1 Floor Plan	03
2016	General Arrangement Plans	B2 Basement 2 Floor Plan	03
2017	General Arrangement Plans	B3 Basement 3 Floor Plan	03
2100	Demolition / Bulk Excavation	Demolition Plan	01
2800	GFA Plans	GFA Plans	02
3000	1:200 Elevations	Elevations Sheet 1 - North and East	03
3001	1:200 Elevations	Elevations Sheet 2 - West and South	03
4000	1:200 Sections	Sections Sheet 1	03
5700	Adaptable Apartment Plans	Adaptable Apartment Plans	02
9100	Compliance	Sun Eye Views	01
9101	Compliance	ADG Compliance - Solar Access	02
9102	Compliance	ADG Compliance - Cross Ventilation	02
9103	Compliance	Shadow Diagrams	01
9104	Compliance	Shadow Diagrams - DCP Envelope Comparison	01

BASIX Inclusions: 277 The Grand Parade, Ramsgate NSW 2217

Water Commitments

Fixtures

- Install showerheads minimum rating of 3 stars-High flow (>7.5 and <= 9 Litres/min)
- Install toilet flushing system with a minimum rating of 5 stars in each toilet
- Install tap with minimum rating of 5 stars in the kitchen
- Install taps with minimum rating of 5 stars in each bathroom
- Appliances within units
- Dishwashers: 4.0 star

Alternative Water

- Install rainwater tank, minimum 70,000L capacity collected from min. 1000m2 roof area.
- Tank connected to – Car washing bay & at least common and private landscape areas

Energy Commitments

Hot water system

- Central electric instantaneous, piping internal to building R1.0 (~38mm) insulation to ring main and supply risers
- Heating and cooling within units
- Air-conditioning ducted only

Ventilation

- Kitchen- Individual fan, externally ducted to roof or façade, manual on/off switch
- Bathrooms - Individual fan, externally ducted to roof or façade, manual on/off switch
- Laundry- Individual fan, externally ducted to roof or façade, manual on/off switch

Lift Bank

- Gearless traction with VVVF Motor

Common Area Lighting

- LED Lighting with manual on/off: Residential Bin Storage, Service, Cleaners
- LED Lighting with no efficiency measure: Residential Carpark, Resi Lobby, Lift Bank

Common Area Ventilation

- No mechanical ventilation: Residential Bin Storage, Service, Cleaners Ventilation supply and exhaust, running continuously: Residential Carpark Air-conditioning system: Resi Lobby
- No ventilation system: Lift Bank

Other

- Appliances and other efficiency measures within units Gas cooktops & electric ovens
- Alternative Energy
- 140 kW solar Photovoltaic system



03	13/9/2024	DA Submission	KT
02	8/9/2024	DA Submission - SECPP	KT
01	1/8/2024	DAP Meeting	KT

Rev	Date	Description	By	Chk
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277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
Sydney NSW 2217

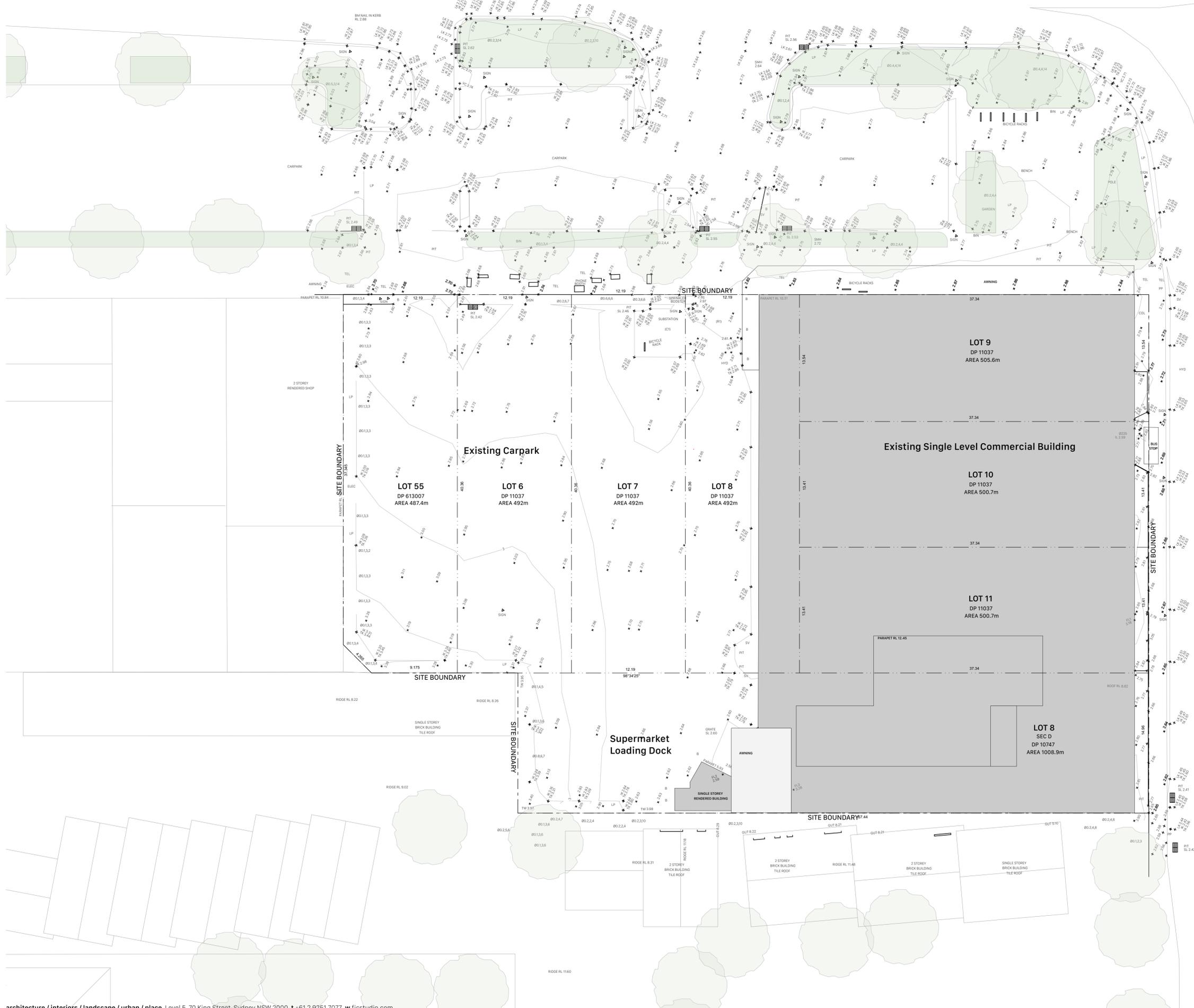
Cover Sheet	Scale
Cover Sheet	No Scale @ A1

Project Code	First Issued
BRAM	1/8/2024

Sheet No.	Rev
1000	03

- General notes**
- All dimensions and existing conditions shall be checked and verified by the contractor before proceeding with the work.
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 - Use figured dimensions only.

Legend



Certificate No. 000976660

Scan QR code or follow website link for rating details.

Assessor name: Sian Fishwick
Accreditation No.: HERA10295

Property Address: 277 The Grand Parade, RAMSGATE NSW, 2217

QR Code

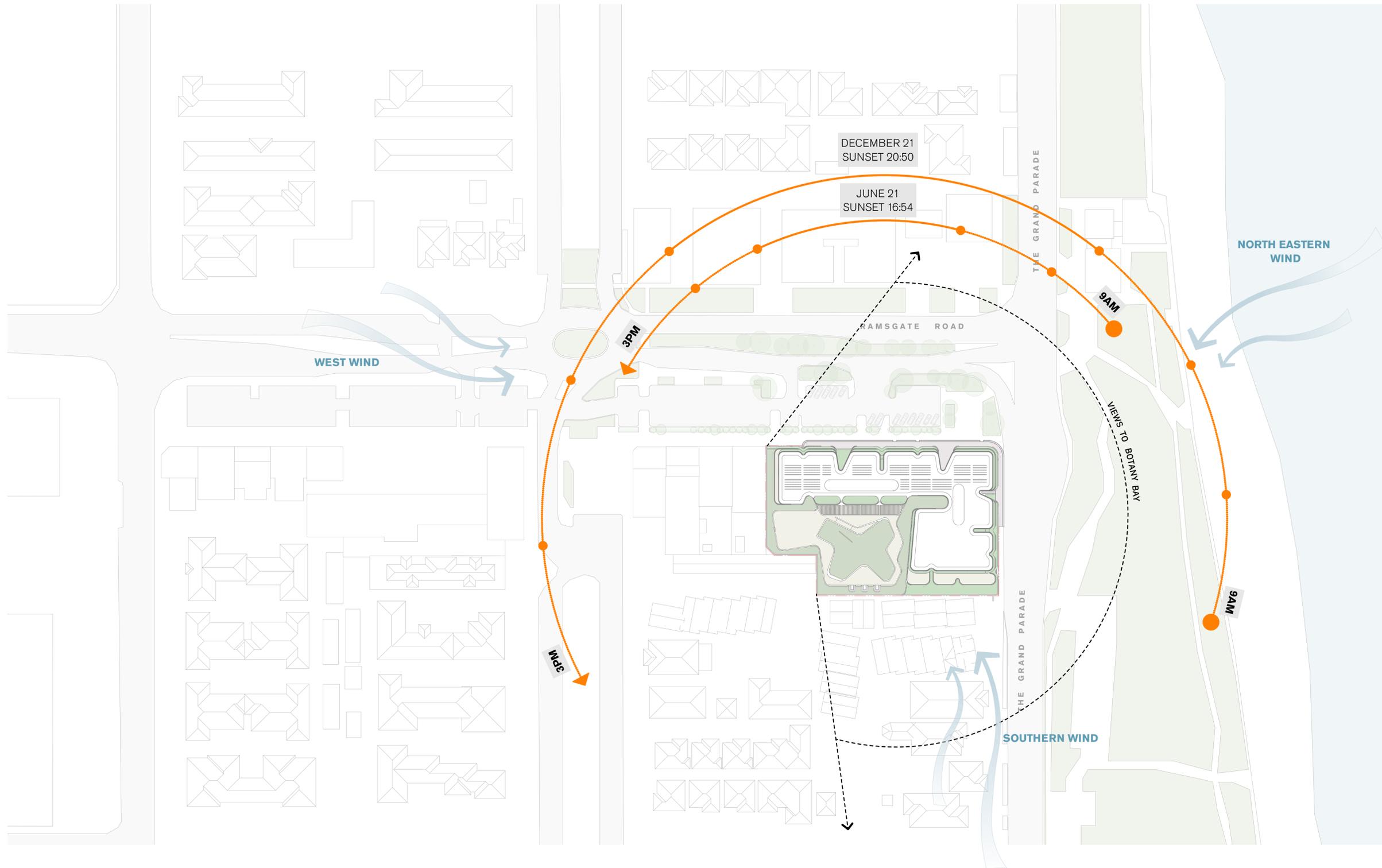
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Rev	Date	Description	By	Chk
01	13/9/2024	DA Submission		KT
277 The Grand Parade Ramsgate				
Australia 277 The Grand Parade Ramsgate Sydney NSW 2217				
Site Plan				Scale
Site Plan Existing				1:100 @ A1
Project Code				First Issued
BRAM				13/9/2024
Sheet No.				Rev
1201				01



- General notes**
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 - Do not scale drawings.
 - Use figured dimensions only.

Legend



Rev	Date	Description	By	Chk
01	13/9/2024	DA Submission		KT

277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
Sydney NSW 2217

Site Plan Scale: 1:100 @ A1
Site Plan Analysis

Project Code First Issued: 13/9/2024
BRAM

Sheet No. Rev: 01
1202

Certificate No. 0009766660
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Assessor name: Stan Fishwick
Accreditation No. HERA10295
Property Address: 277 The Grand Parade, RAMSGATE NSW 2217
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Legend

Notes

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- ALL ACC. CARPARK SPACES COMPLIANT WITH AS2890.6

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Certificate No. 0009766660

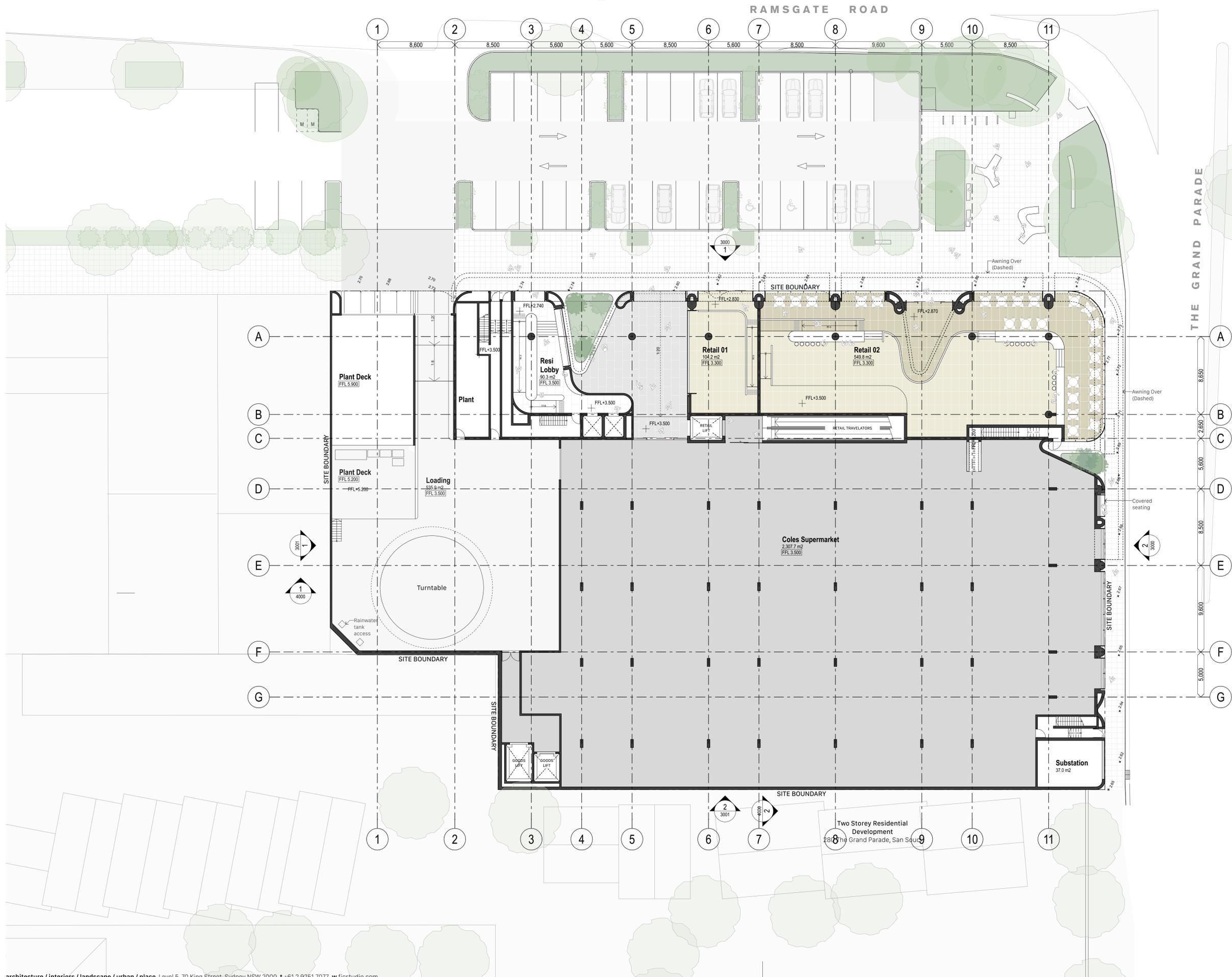
Scan QR code or follow website link for rating details.

Assessor name: Sian Fishwick
Accreditation No. HERA10295

Property Address: 277 The Grand Parade, RAMSGATE NSW 2217

0976666660

18/09/2024 20 SEP 2024

Rev	Date	Description	By	Chk
03	13/09/2024	DA Submission		KT
02	8/09/2024	DA Submission - SECP		KT
01	1/8/2024	DPP Meeting		KT

Rev Date Description By Chk

277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
Sydney NSW 2217

General Arrangement Plans Scale
GF Ground Floor Plan 1:200 @ A1

Project Code First Issued
BRAM 1/8/2024

Sheet No. Rev
2000 03

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Legend

- Apartments receiving ≥2hr of sun at winter solstice
- Apartments with natural cross ventilation
- Adaptable Apartments

Notes

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01	1/8/2024	DAP Meeting		KT

Rev	Date	Description	By	Chk

277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
Sydney NSW 2217

General Arrangement Plans Scale
L1 Level 1 Floor Plan 1:200 @ A1

Project Code First Issued
BRAM 1/8/2024

Sheet No. Rev
2001 03

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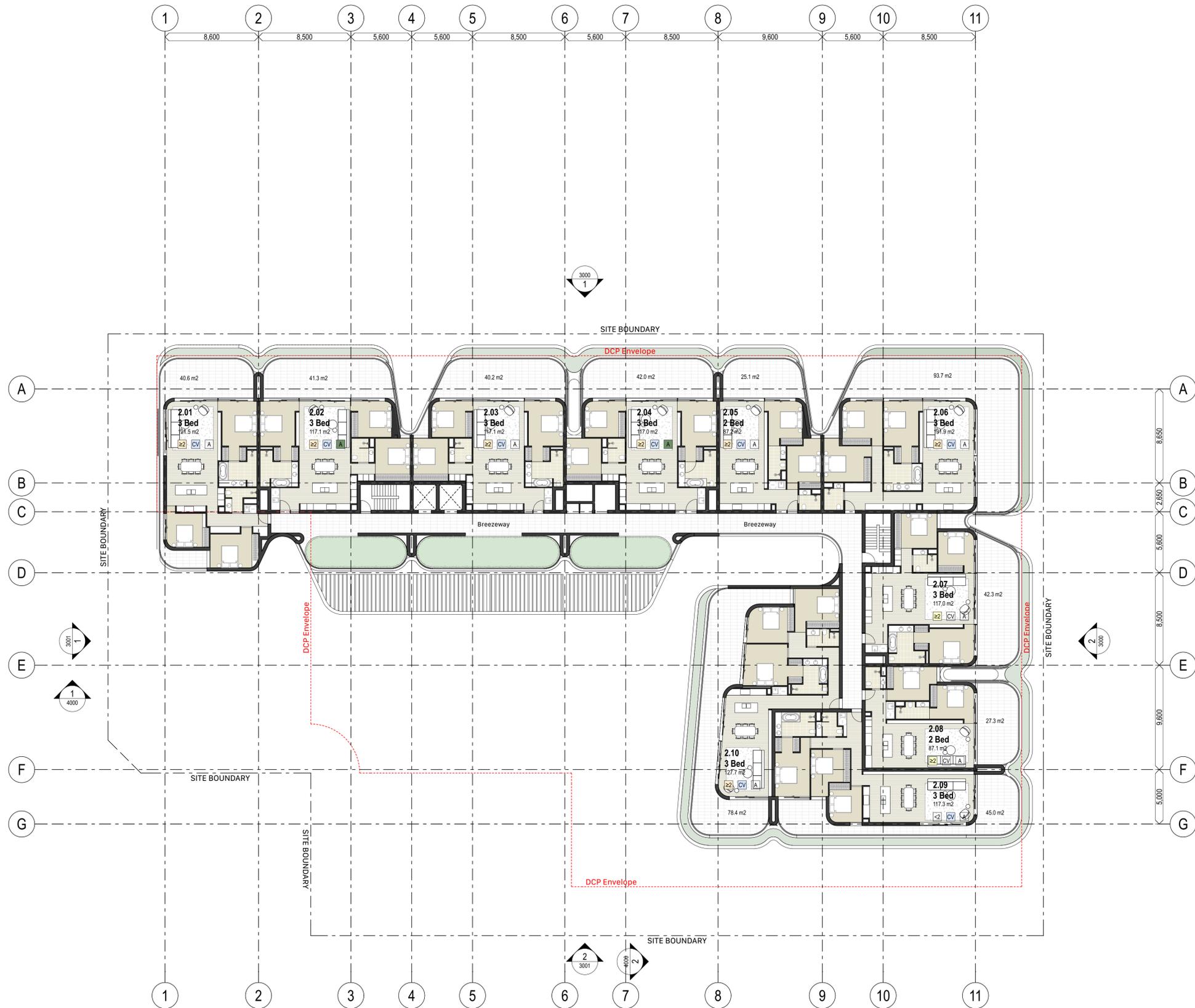
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02	8/9/2024	DA Submission - SECPP	KT
01	1/8/2024	DPP Meeting	KT

Rev	Date	Description	By	Chk
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277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
Sydney NSW 2217

General Arrangement Plans Scale
L2 Level 2 Floor Plan 1:200 @ A1

Project Code First Issued
BRAM 1/8/2024

Sheet No. Rev
2002 03

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Assessor name Sian Fishwick

Accreditation No. HERA10295

Property Address 277 The Grand Parade, RAMSGATE NSW, 2217

09766660

20 SEP 2024

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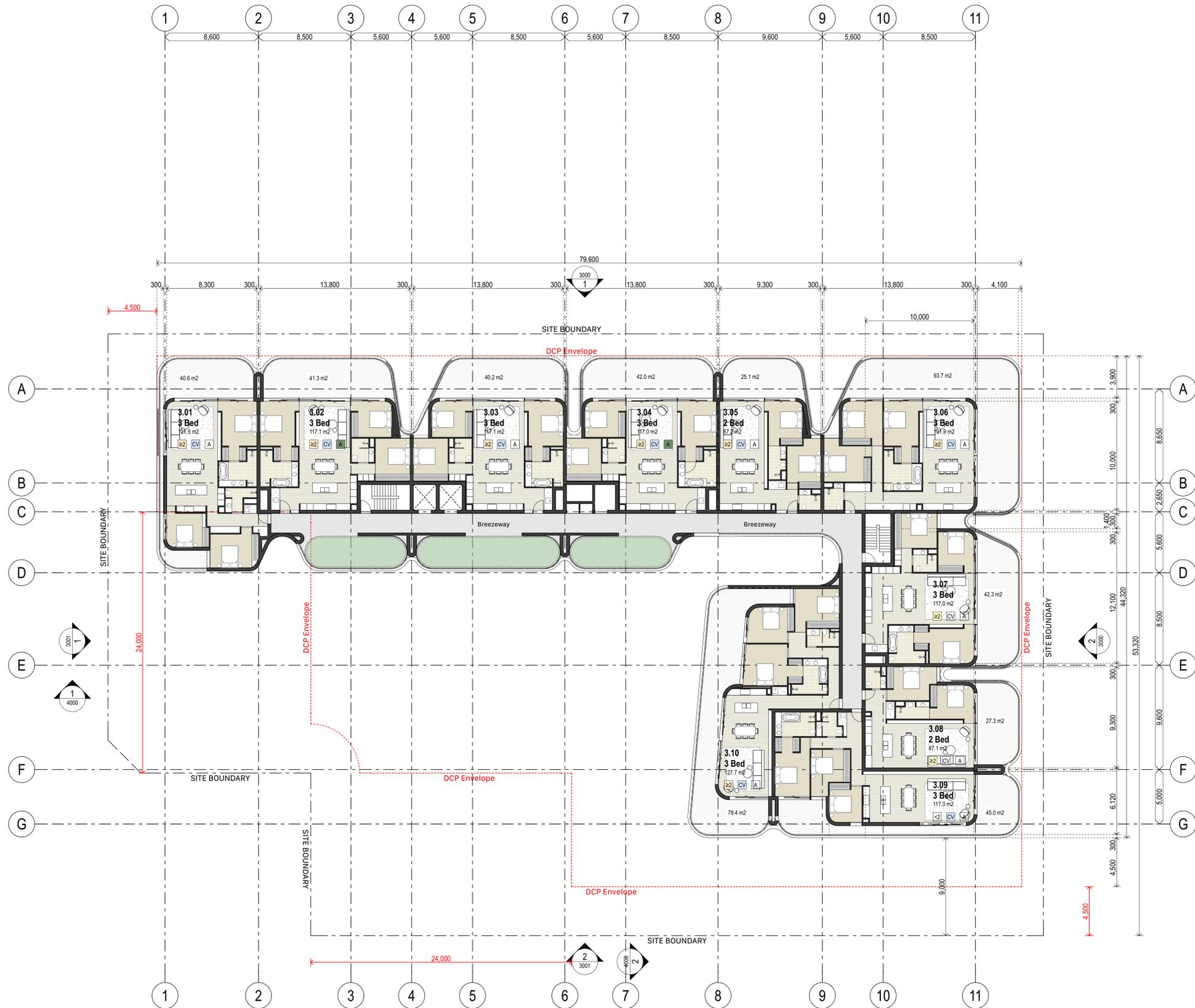
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01	1/8/2024	DPP Meeting	KT

Rev	Date	Description	By	Chk
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277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
Sydney NSW 2217

General Arrangement Plans Scale
L3 Level 3 Floor Plan 1:200 @ A1

Project Code First Issued
BRAM 1/8/2024

Sheet No. Rev
2003 03



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02	8/09/2024	DA Submission - SECPP		KT
01	1/8/2024	DAP Meeting		KT

Rev Date Description By Chk

277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
Sydney NSW 2217

General Arrangement Plans Scale
L4 Level 4 Floor Plan 1:200 @ A1

Project Code First Issued
BRAM 1/8/2024

Sheet No. Rev
2004 03

Certificate No. 0009766660

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Assessor name Sian Fishwick
Accreditation No. HERA10295

Property Address 277 The Grand Parade, RAMSGATE NSW, 2217

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02	8/9/2024	DA Submission - SECPP	KT
01	1/8/2024	DPP Meeting	KT

Rev	Date	Description	By	Chk
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277 The Grand Parade Ramsgate
 Australia
 277 The Grand Parade Ramsgate
 Sydney NSW 2217

General Arrangement Plans Scale
 L5 Level 5 Floor Plan 1:200 @ A1

Project Code First Issued
 BRAM 1/8/2024

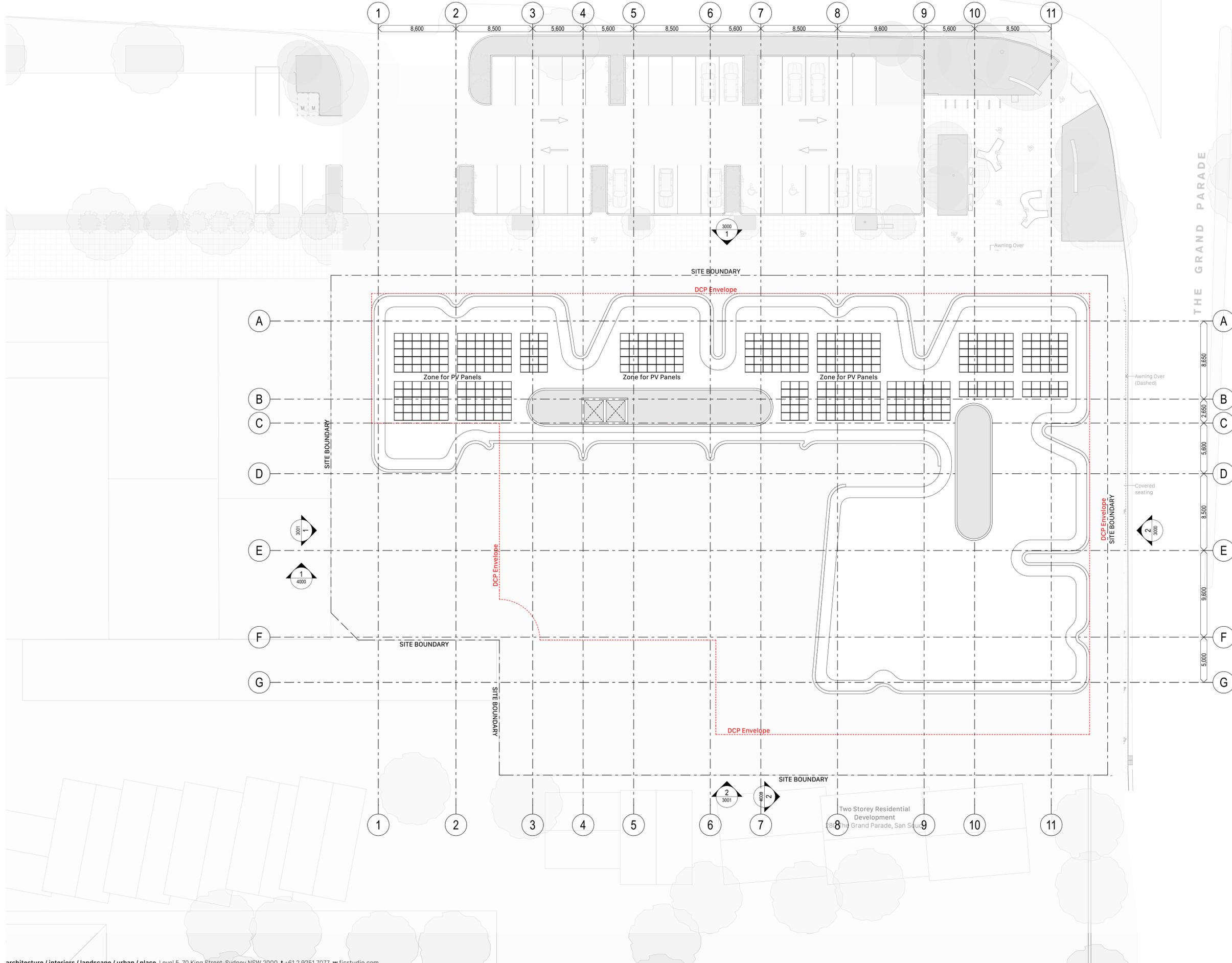
Sheet No. Rev
 2005 03





RAMSGATE ROAD

THE GRAND PARADE



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Property Address: 277 The Grand Parade, RAMSGATE NSW 2217

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20 SEP 2024

03	13/9/2024	DA Submission	KT
02	8/9/2024	DA Submission - SECP	KT
01	1/8/2024	DAP Meeting	KT

Rev	Date	Description	By	Chk
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277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
Sydney NSW 2217

General Arrangement Plans Scale
Roof Plan 1:200 @ A1

Project Code First Issued
BRAM 1/8/2024

Sheet No. Rev
2006 03



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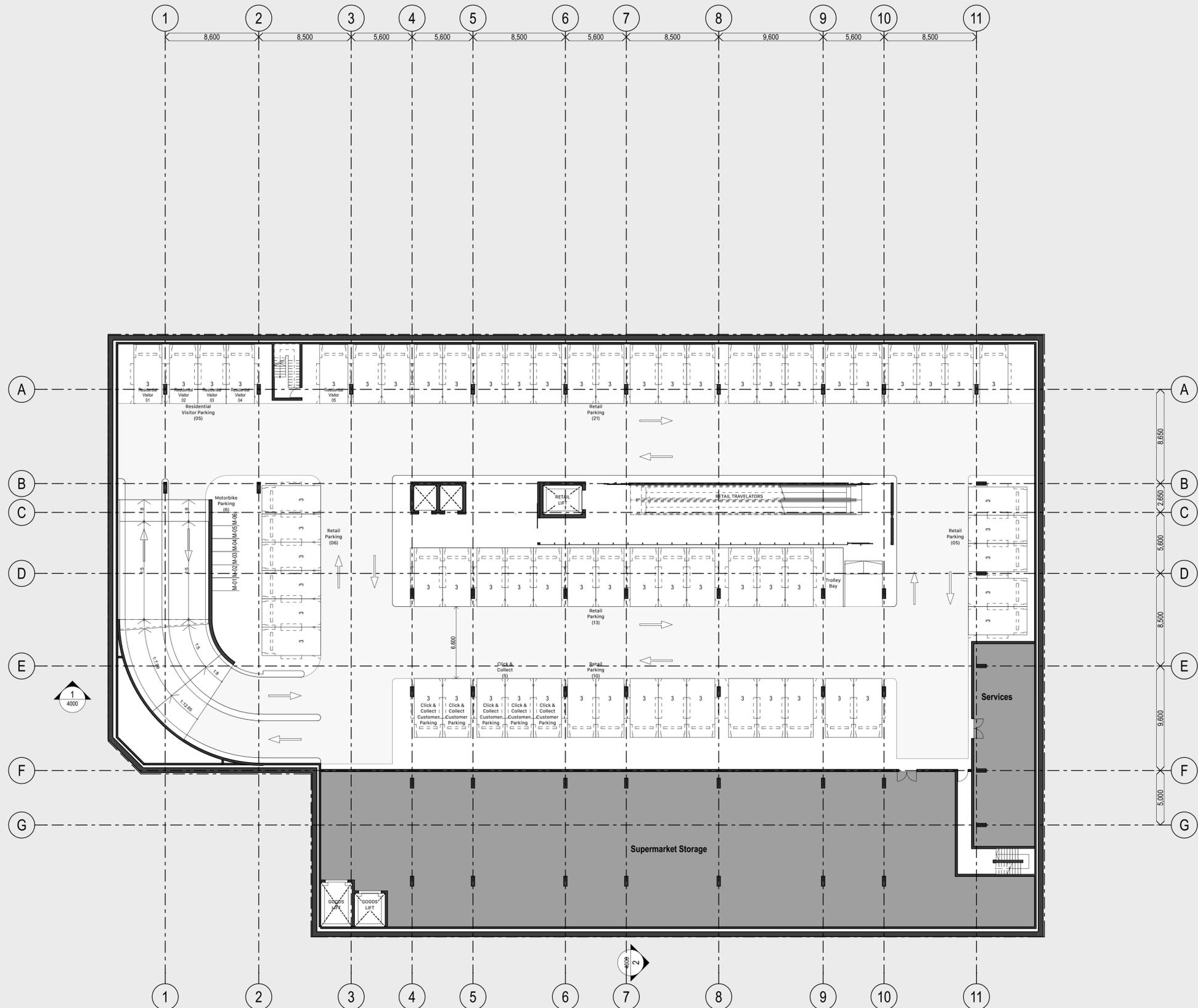
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BASEMENT 2 PARKING SUMMARY

Floor (Storey)	User Class (AS/NZS2890.1)	Quantity
Basement 2		
Retail Parking	3	55
Trolley Bay	Custom	1
Retail Click & Collect Parking	Motorcycle	6
Residential Visitor Parking		5



Rev	Date	Description	By	Chk
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01	1/8/2024	DPP Meeting		KT

277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
Sydney NSW 2217

General Arrangement Plans Scale
B2 Basement 2 Floor Plan 1:200 @ A1

Project Code First Issued
BRAM 1/8/2024

Sheet No. Rev
2016 03

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Assessor name: Sian Fishwick
Accreditation No.: HERA10295

Property Address: 277 The Grand Parade, RAMSGATE NSW, 2217

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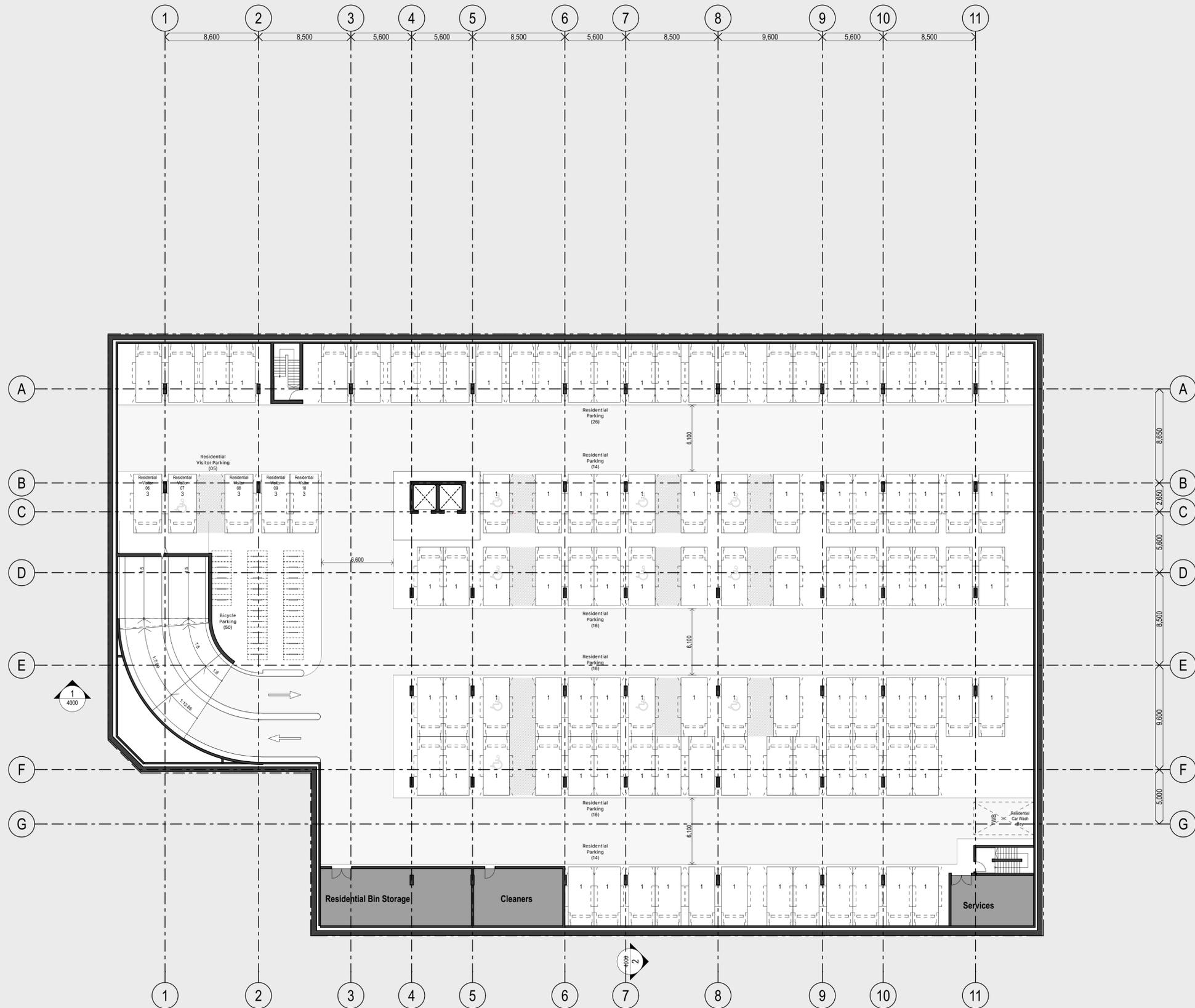
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BASEMENT 3 PARKING SUMMARY

Floor (Storey)	User Class (AS/NZS2890:1)	Quantity
Basement 3		
Retail Parking	1	100
Residential Visitor Parking	3	5
	Washing Bay	1
Bicycle Parking		50



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01	1/8/2024	DAP Meeting		KT

277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
Sydney NSW 2217

General Arrangement Plans Scale
B3 Basement 3 Floor Plan 1:200 @ A1

Project Code First Issued
BRAM 1/8/2024

Sheet No. Rev
2017 03

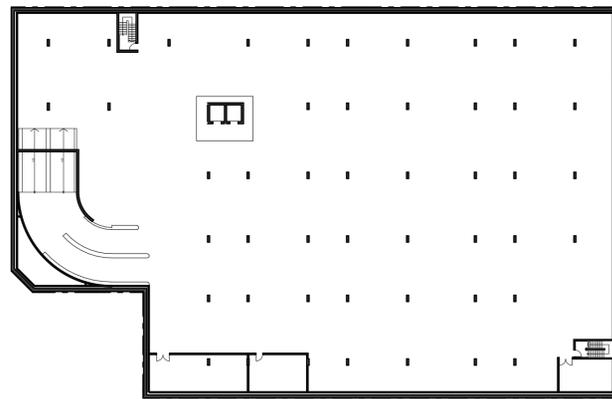




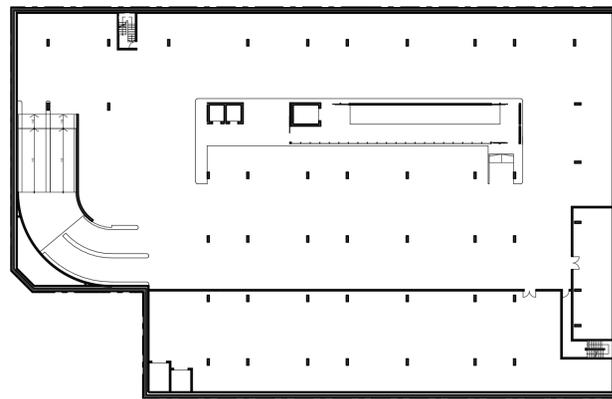
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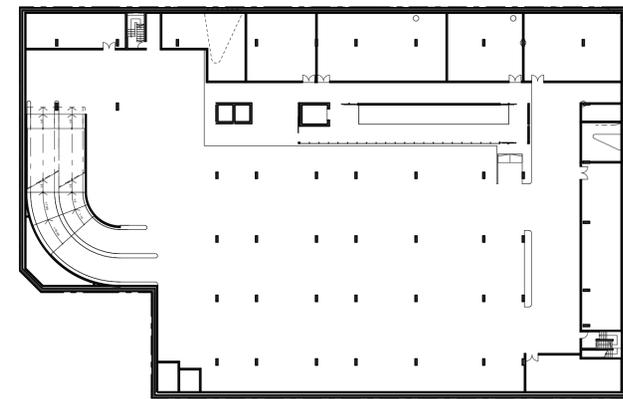
Legend



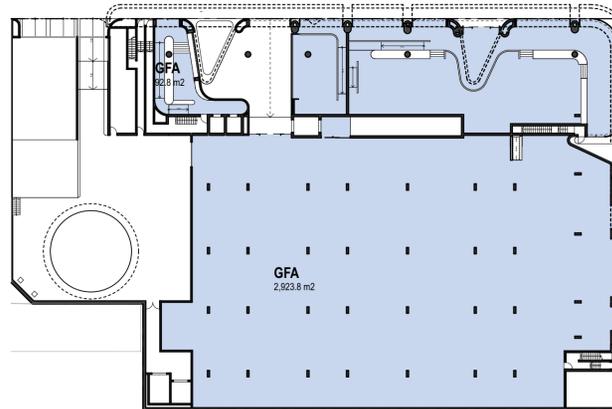
Basement 3



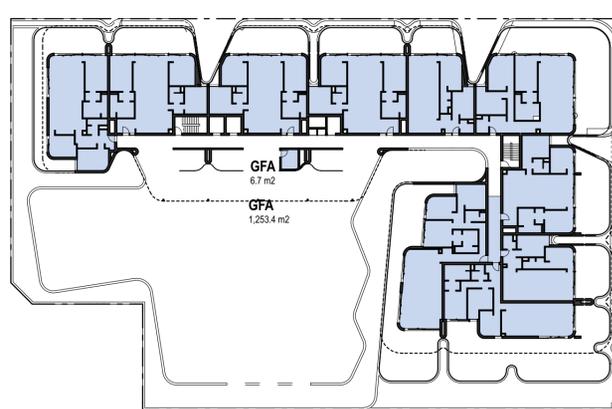
Basement 2



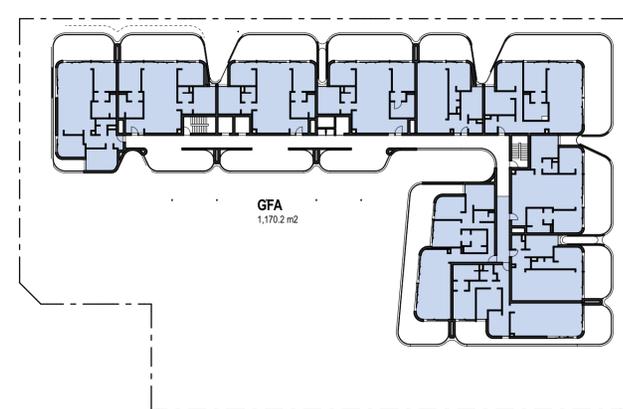
Basement 1



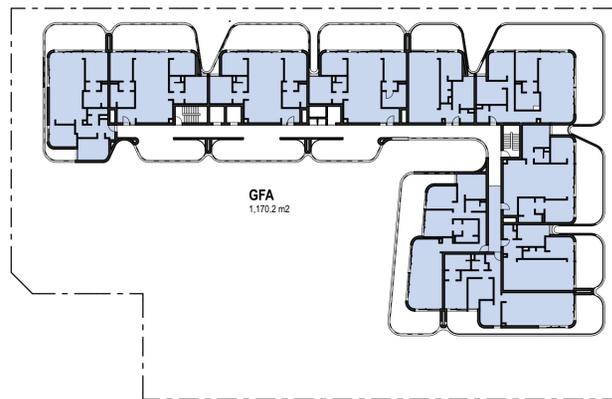
Ground Floor



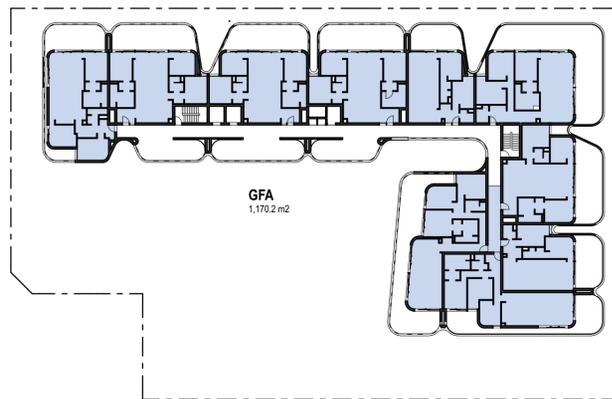
Level 01



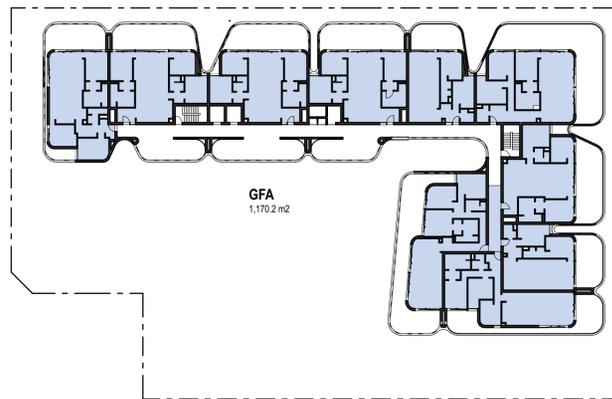
Level 02



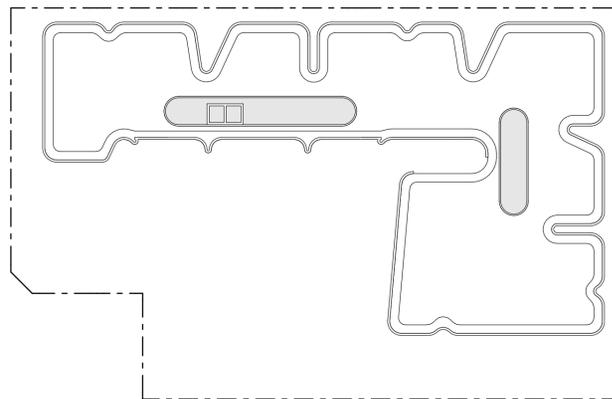
Level 03



Level 04



Level 05



Roof

GFA Schedule

Floor (Story)	Room Name	Area
Ground Floor	GFA	3,016.68
		3,016.68 m ²
Level 01	GFA	1,260.15
		1,260.15 m ²
Level 02	GFA	1,170.16
		1,170.16 m ²
Level 03	GFA	1,170.16
		1,170.16 m ²
Level 04	GFA	1,170.16
		1,170.16 m ²
Level 05	GFA	1,170.16
		1,170.16 m ²
		8,957.47 m ²

Site Area 4,479m²
 Floor Space Ratio 2:1
 Permissible GFA 8958m²

Apartments

50

GFA Definition - Bayside Local Environmental Plan 2021
 gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes—
 (a) the area of a mezzanine, and
 (b) habitable rooms in a basement or an attic, and
 (c) any shop, auditorium, cinema, and the like, in a basement or attic, but excludes—
 (d) any area for common vertical circulation, such as lifts and stairs, and
 (e) any basement—
 (i) storage, and
 (ii) vehicular access, loading areas, garbage and services, and
 (f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
 (g) car parking to meet any requirements of the consent authority (including access to that car parking), and
 (h) any space used for the loading or unloading of goods (including access to it), and
 (i) terraces and balconies with outer walls less than 1.4 metres high, and
 (j) voids above a floor at the level of a storey or storey above.



02 13/9/2024 DA Submission KT

01 8/9/2024 DA Submission - SECP KT

Rev Date Description By Chk

277 The Grand Parade Ramsgate
 Australia
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 Sydney NSW 2217

GFA Plans Scale
 GFA Plans 1:100 @ A1

Project Code First Issued
 BRAM 8/9/2024

Sheet No. Rev
 2800 02



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Legend

- FT01** Full height large format glazing framed with powdercoated aluminium framing. Vertical sliding sash windows provided to retail facing Ramsgate Road. Curved glazing provided to expressed corners.
- FT02** Off form concrete with textured finish
- FT03** Full height large format glazing framed with powdercoated aluminium framing.
- FT04** Full height large format glazing framed with powdercoated aluminium framing and sliding doors to balconies
- FT05** Full height glazing framed with powdercoated aluminium framing and operable awning window with limiter
- FT06** Rendered masonry with textured finish
- FT07** Full height powdercoated rod privacy screening
- FT08** Off form concrete
- FT09** Rendered masonry with textured finish
- BS02** Rendered masonry with textured finish. Ribbon to be optional Glass Reinforced Concrete
- BS03** Rendered masonry with textured finish

Notes

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01	1/8/2024	DAP Meeting	KT

Rev Date Description By Chk

277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
Sydney NSW 2217

1:200 Elevations Scale
Elevations Sheet 1 - North and East 1:200 @ A1

Project Code First Issued
BRAM 1/8/2024

Sheet No. Rev
3000 03



1 ELEVATION North Elevation
1:200



2 ELEVATION East Elevation
1:200

Certificate No. 0009766660
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Assessor name Sian Fishwick
Accreditation No. HERA10295
Property Address 277 The Grand Parade, RAMSGATE NSW, 2217

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- FT04** Full height large format glazing framed with powdercoated aluminium framing and sliding doors to balconies
- FT05** Full height glazing framed with powdercoated aluminium framing and operable awning window with limiter
- FT06** Rendered masonry with textured finish
- FT07** Full height powdercoated rod privacy screening
- FT08** Off form concrete
- FT09** Rendered masonry with textured finish
- BS02** Rendered masonry with textured finish. Ribbon to be optional Glass Reinforced Concrete
- BS03** Rendered masonry with textured finish

Notes

- ALL STAIRS, RAMPS AND HANDRAILS COMPLIANT WITH AS1428.1
- ALL ACC. SANITARY FACILITIES COMPLIANT WITH AS1428.1
- ALL ACC. CARPARK SPACES COMPLIANT WITH AS2890.6

DESIGN RESOLUTION

The drawings represent general architectural intent for the purpose of this planning permit only.

The internal layout is shown indicatively and is subject to further design development.

Location of plant, equipment and services on drawings is general and indicative, and does not include minor elements.

GRAPHIC PRESENTATION

Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour distortion may also occur in the printing process.

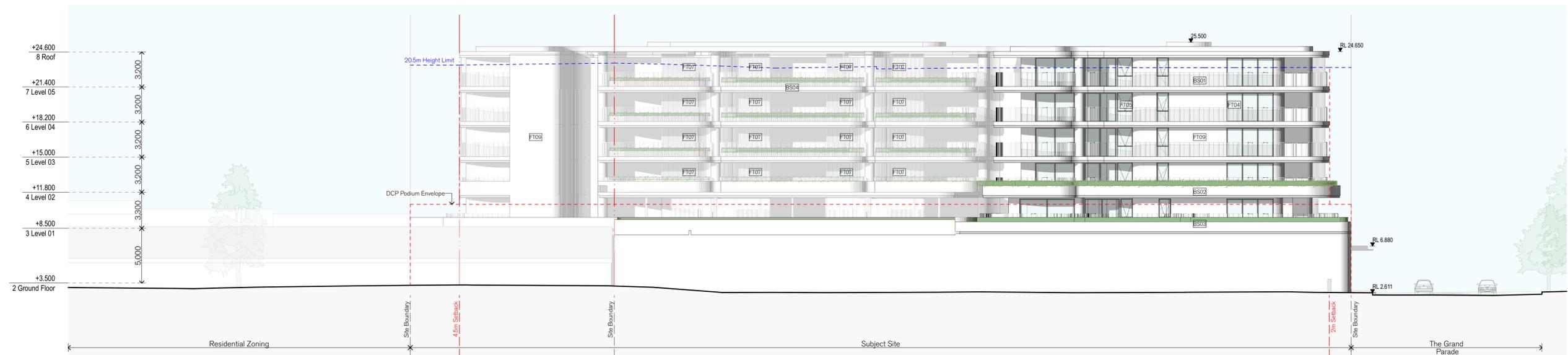
EXISTING STRUCTURES AND SERVICES

Extent and location of existing structures services is according to the available survey information and will need to be verified on site at later stage.

All unchanged site levels are as per the existing survey information.



1 ELEVATION West Elevation
1:200



2 ELEVATION South Elevation
1:200

Rev	Date	Description	By	Chk
03	13/09/2024	DA Submission		KT
02	8/09/2024	DA Submission - SECP		KT
01	1/8/2024	DAP Meeting		KT

277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
Sydney NSW 2217

1:200 Elevations **Scale**
Elevations Sheet 2 - West and South 1:200 @ A1

Project Code **First Issued**
BRAM 1/8/2024

Sheet No. **Rev**
3001 03

Certificate No. 0009766660

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Assessor name Sian Fishwick

Accreditation No. HERA10295

Property Address 277 The Grand Parade, RAMSGATE NSW, 2217

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- General notes**
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Legend

- FT01** Full height large format glazing framed with powdercoated aluminium framing. Vertical sliding sash windows provided to retail facing Ramsgate Road. Curved glazing provided to expressed corners.
- FT02** Off form concrete with textured finish
- FT03** Full height large format glazing framed with powdercoated aluminium framing.
- FT04** Full height large format glazing framed with powdercoated aluminium framing and sliding doors to balconies
- FT05** Full height glazing framed with powdercoated aluminium framing and operable awning window with limiter
- FT06** Rendered masonry with textured finish
- FT07** Full height powdercoated rod privacy screening
- FT08** Off form concrete
- FT09** Rendered masonry with textured finish
- BS02** Rendered masonry with textured finish. Ribbon to be optional Glass Reinforced Concrete
- BS03** Rendered masonry with textured finish

Notes

- ALL STAIRS, RAMPS AND HANDRAILS COMPLIANT WITH AS1428.1
- ALL ACC. SANITARY FACILITIES COMPLIANT WITH AS1428.1
- ALL ACC. CARPARK SPACES COMPLIANT WITH AS2890.6

DESIGN RESOLUTION

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Location of plant, equipment and services on drawings is general and indicative, and does not include minor elements.

GRAPHIC PRESENTATION

Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour distortion may also occur in the printing process.

EXISTING STRUCTURES AND SERVICES

Extent and location of existing structures services is according to the available survey information and will need to be verified on site at later stage.

All unchanged site levels are as per the existing survey information.

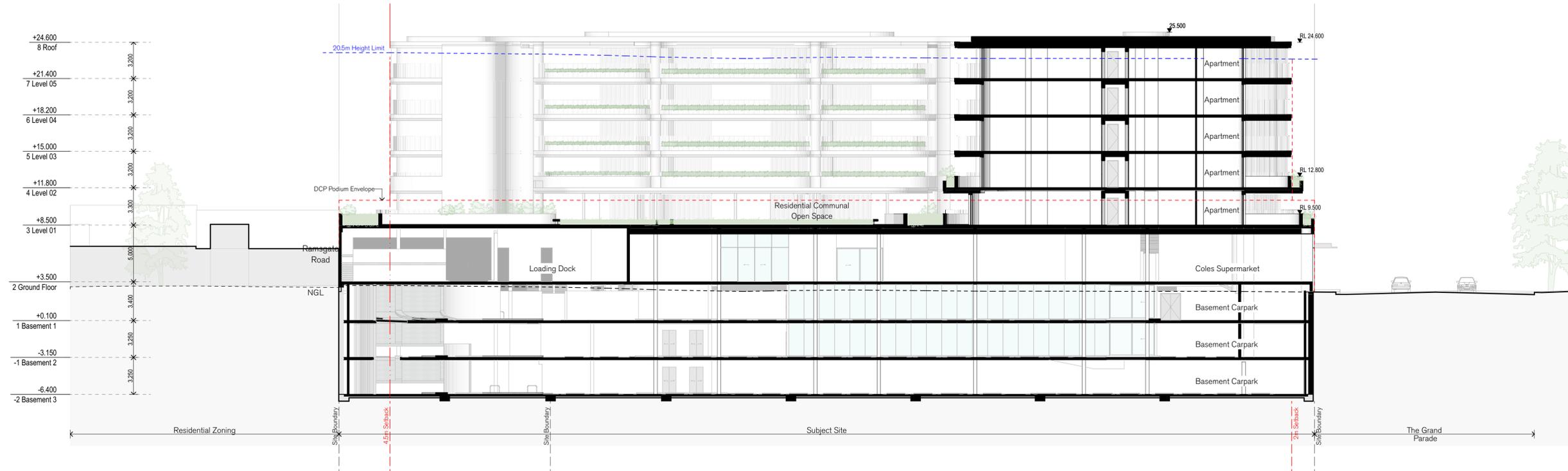
Rev	Date	Description	By	CHK
03	13/09/2024	DA Submission		KT
02	8/09/2024	DA Submission - SECPP		KT
01	1/8/2024	DAP Meeting		KT

277 The Grand Parade Ramsgate
Australia
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Sydney NSW 2217

1:200 Sections Scale
Sections Sheet 1 1:200 @ A1

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BRAM 1/8/2024

Sheet No. Rev
4000 03



1 SECTION A-A
1:200



2 SECTION B-B
1:200

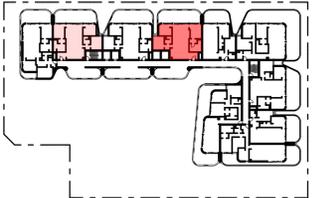
Certificate No. 0009766660
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Assessor name: Sian Fishwick
Accreditation No. HERA10295
Property Address: 277 The Grand Parade, RAMSGATE NSW, 2217
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General notes

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- Do not scale drawings.
- Use figured dimensions only.

Keyplan



Legend

- Apartment No.2 - Adaptable
- Apartment No.4 - Adaptable



Apartment No.04 - Pre Adaptation Plan



Apartment No.04 - Post Adaptation Plan

Adaptable Apartments

Bayside DCP Control - 3.6.2 C3.
A minimum 20% of total dwellings in new multi dwelling housing, shop top housing and residential flat buildings containing 10 or more dwellings must be adaptable dwellings and designed and constructed to a minimum Class C Certification under AS 4299 Adaptable Housing.

Total Apartments	50
Total Adaptable Apartments	10 (20%)

Floor (Story)	Zone Category	Room Number	Adaptable Apartment
Level 01			
	RESIDENTIAL COMMUN...		---
	APT. 3BED	1.01	☐
	APT. 3BED	1.02	☒
	APT. 3BED	1.03	☐
	APT. 3BED	1.04	☒
	APT. 2BED	1.05	☐
	APT. 3BED	1.06	☐
	APT. 3BED	1.07	☐
	APT. 2BED	1.08	☐
	APT. 3BED	1.09	☐
	APT. 3BED	1.10	☐
Level 02			
	APT. 3BED	2.01	☐
	APT. 3BED	2.02	☒
	APT. 3BED	2.03	☐
	APT. 3BED	2.04	☒
	APT. 2BED	2.05	☐
	APT. 3BED	2.06	☐
	APT. 3BED	2.07	☐
	APT. 2BED	2.08	☐
	APT. 3BED	2.09	☐
	APT. 3BED	2.10	☐
Level 03			
	APT. 3BED	3.01	☐
	APT. 3BED	3.02	☒
	APT. 3BED	3.03	☐
	APT. 3BED	3.04	☒
	APT. 2BED	3.05	☐
	APT. 3BED	3.06	☐
	APT. 3BED	3.07	☐
	APT. 2BED	3.08	☐
	APT. 3BED	3.09	☐
	APT. 3BED	3.10	☐
Level 04			
	APT. 3BED	4.01	☐
	APT. 3BED	4.02	☒
	APT. 3BED	4.03	☐
	APT. 3BED	4.04	☒
	APT. 2BED	4.05	☐
	APT. 3BED	4.06	☐
	APT. 3BED	4.07	☐
	APT. 2BED	4.08	☐
	APT. 3BED	4.09	☐
	APT. 3BED	4.10	☐
Level 05			
	APT. 3BED	5.01	☐
	APT. 3BED	5.02	☒
	APT. 3BED	5.03	☐
	APT. 3BED	5.04	☒
	APT. 2BED	5.05	☐
	APT. 3BED	5.06	☐
	APT. 3BED	5.07	☐
	APT. 2BED	5.08	☐
	APT. 3BED	5.09	☐
	APT. 3BED	5.10	☐

02	13/9/2024	DA Submission	KT
01	8/9/2024	DA Submission - SCOP	KT

Rev	Date	Description	By	Chk
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Adaptable Apartment Plans Scale
Adaptable Apartment Plans 1:200 @ A1

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BRAM 8/9/2024

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5700 02

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Assessor name Sian Fishwick
Accreditation No. HERA10295
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 Parade, RAMSGATE
 NSW, 2217
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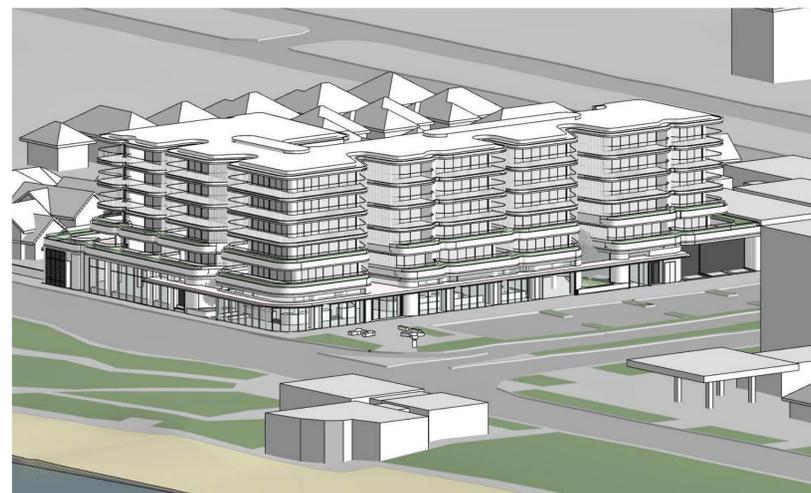
Sun Eye Views

Winter Solstice June 21 8am - 4pm

- General notes**
- All dimensions and existing conditions shall be checked and verified by the contractor before proceeding with the work.
 - All levels relative to 'Australian Height Datum'.
 - Do not scale drawings.
 - Use figured dimensions only.

Legend

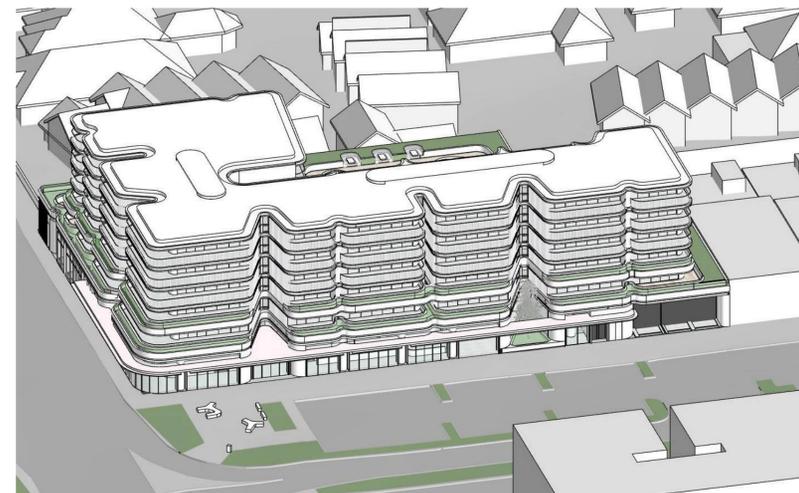
Winter Solstice June 21



8am



9am



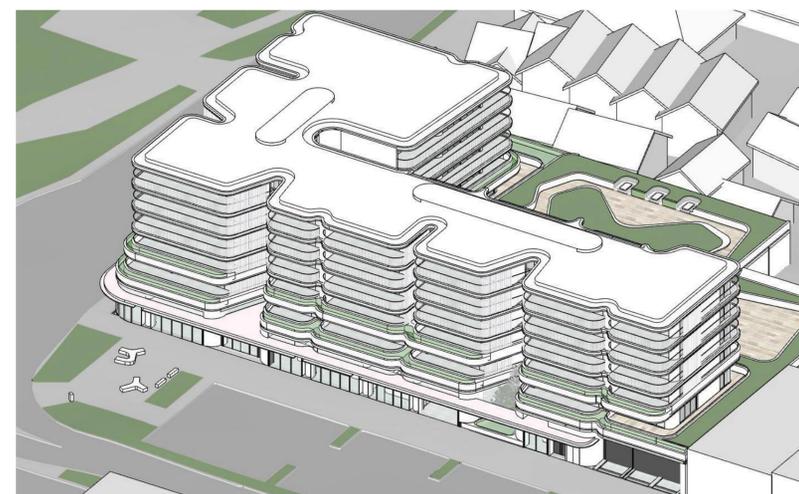
10am



11am



12 midday



1pm



2pm



3pm

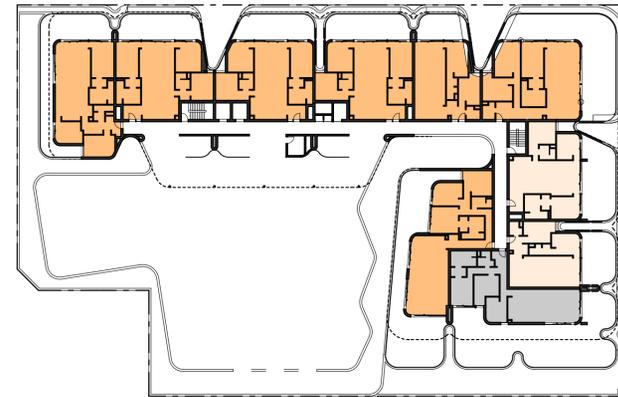


4pm

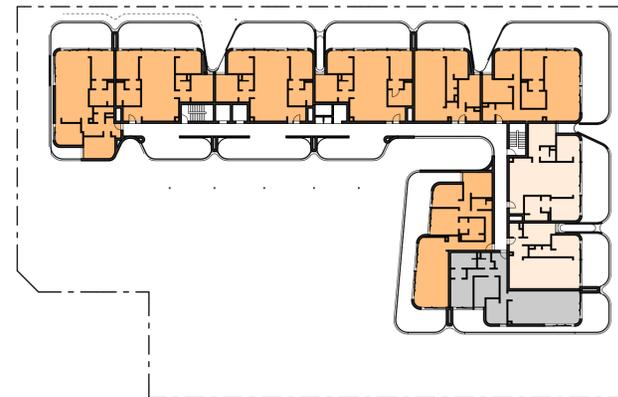
Rev	Date	Description	By	Chk
01	13/9/2024	DA Submission		KT
277 The Grand Parade Ramsgate				
Australia				
277 The Grand Parade Ramsgate				
Sydney NSW 2217				
Compliance				Scale
Sun Eye Views				Not to Scale @ A1
Project Code				First Issued
BRAM				13/9/2024
Sheet No.				Rev
9100				01

- General notes**
- All dimensions and existing conditions shall be checked and verified by the contractor before proceeding with the work.
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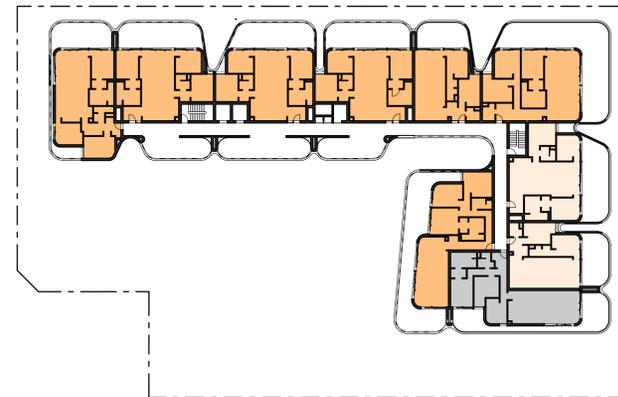
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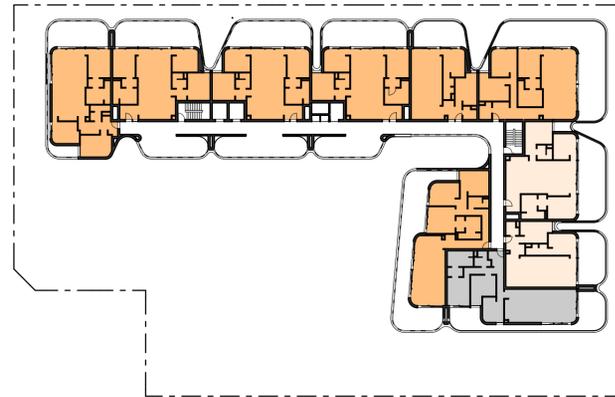
Level 01



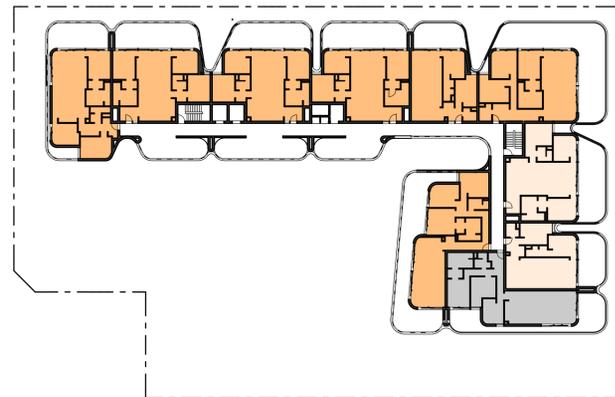
Level 02



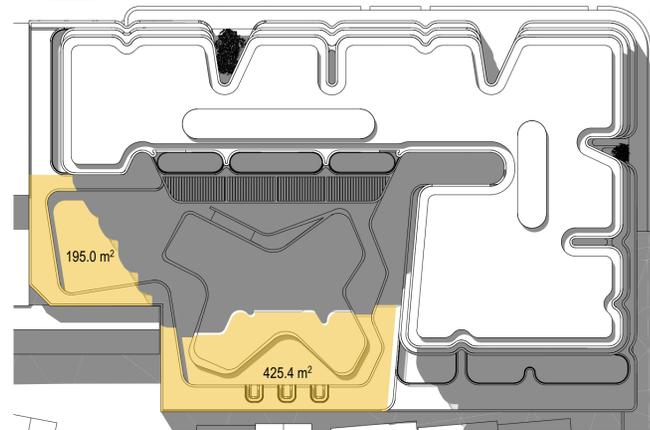
Level 03



Level 04



Level 05



Level 1 Communal Open Space - June 21 1pm

Communal Open Space - Solar Access

Objective 3D-1 | Design Criteria

Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9 am and 3 pm on 21 June (mid winter)

Bayside DCP Control
C5 a) have a minimum area of 40% that has sunlight at 1pm on 21 June

Communal Open Space Total Area	1245m ²
Minimum Solar Access Area Required	498m ² (40%)
Total Area Achieved	620.4m²(50%)

ADG Compliance - Solar Access

Objective 4A-1 | Design Criteria

Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3 pm at mid winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas

A maximum of 15% of apartments in a building receive no direct sunlight between 9 am and 3 pm at mid winter

Apartments receiving >2h of sun at winter solstice	35 (70%)
Apartments receiving <2h of sun at winter solstice	10 (20%)
Apartments receiving no direct sun-light as winter solstice	5 (10%)

Total **50 Apartments**

Floor (Story)	Zone Category	Room Number	Solar Access
Level 01	RESIDENTIAL COMMUN.	---	---
	APT. 3BED	1.01	Compliant
	APT. 3BED	1.02	Compliant
	APT. 3BED	1.03	Compliant
	APT. 3BED	1.04	Compliant
	APT. 2BED	1.05	Compliant
	APT. 3BED	1.06	Compliant
	APT. 3BED	1.07	Assisted
	APT. 2BED	1.08	Assisted
	APT. 3BED	1.09	Non-Compliant
APT. 3BED	1.10	Compliant	
Level 02	APT. 3BED	2.01	Compliant
	APT. 3BED	2.02	Compliant
	APT. 3BED	2.03	Compliant
	APT. 3BED	2.04	Compliant
	APT. 2BED	2.05	Compliant
	APT. 3BED	2.06	Compliant
	APT. 3BED	2.07	Assisted
	APT. 2BED	2.08	Assisted
	APT. 3BED	2.09	Non-Compliant
	APT. 3BED	2.10	Compliant
Level 03	APT. 3BED	3.01	Compliant
	APT. 3BED	3.02	Compliant
	APT. 3BED	3.03	Compliant
	APT. 3BED	3.04	Compliant
	APT. 2BED	3.05	Compliant
	APT. 3BED	3.06	Compliant
	APT. 3BED	3.07	Assisted
	APT. 2BED	3.08	Assisted
	APT. 3BED	3.09	Non-Compliant
	APT. 3BED	3.10	Compliant
Level 04	APT. 3BED	4.01	Compliant
	APT. 3BED	4.02	Compliant
	APT. 3BED	4.03	Compliant
	APT. 3BED	4.04	Compliant
	APT. 2BED	4.05	Compliant
	APT. 3BED	4.06	Compliant
	APT. 3BED	4.07	Assisted
	APT. 2BED	4.08	Assisted
	APT. 3BED	4.09	Non-Compliant
	APT. 3BED	4.10	Compliant
Level 05	APT. 3BED	5.01	Compliant
	APT. 3BED	5.02	Compliant
	APT. 3BED	5.03	Compliant
	APT. 3BED	5.04	Compliant
	APT. 2BED	5.05	Compliant
	APT. 3BED	5.06	Compliant
	APT. 3BED	5.07	Assisted
	APT. 2BED	5.08	Assisted
	APT. 3BED	5.09	Non-Compliant
	APT. 3BED	5.10	Compliant

02	13/9/2024	DA Submission	KT
01	8/9/2024	DA Submission - SECP9	KT

Rev	Date	Description	By	Chk
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277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
Sydney NSW 2217

Compliance **Scale**
ADG Compliance - Solar Access 1:500 @ A1

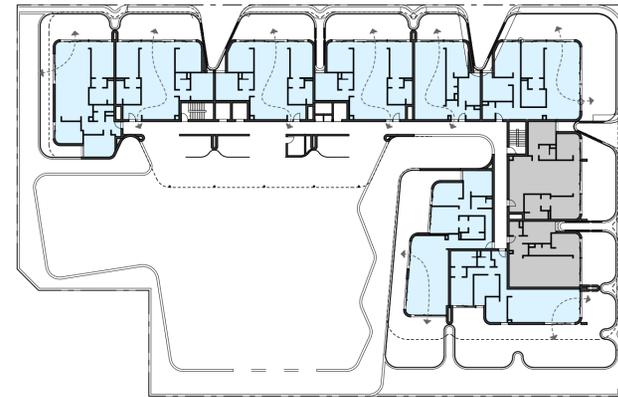
Project Code **First Issued**
BRAM 8/9/2024

Sheet No. **Rev**
9101 02

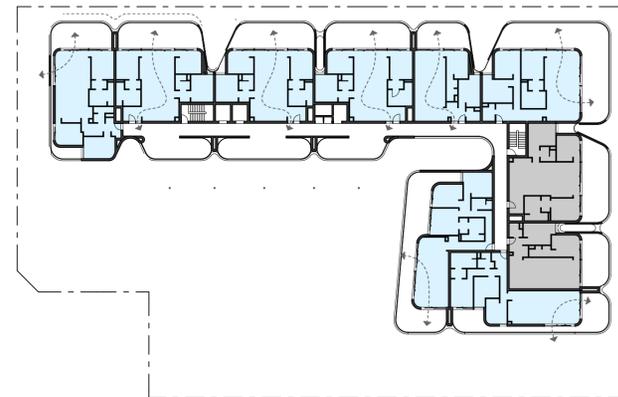


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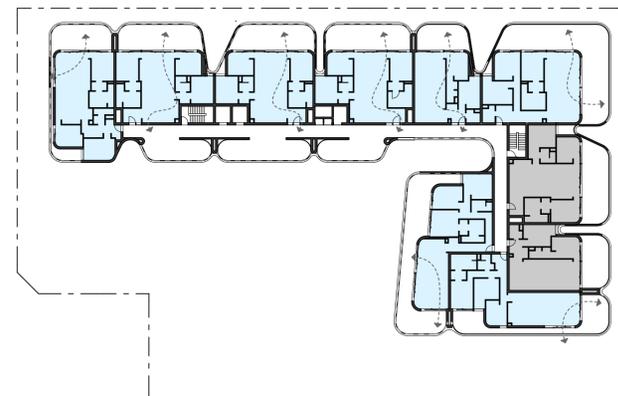
Legend



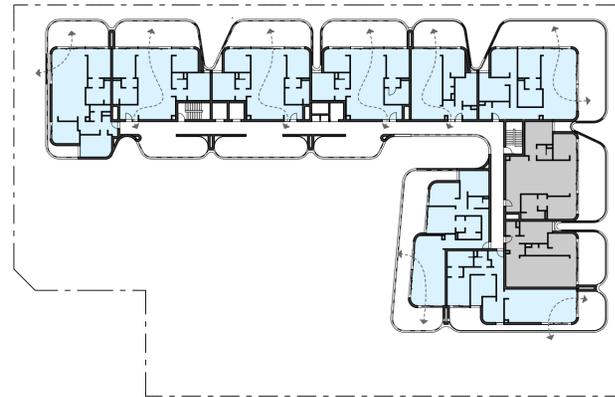
Level 01



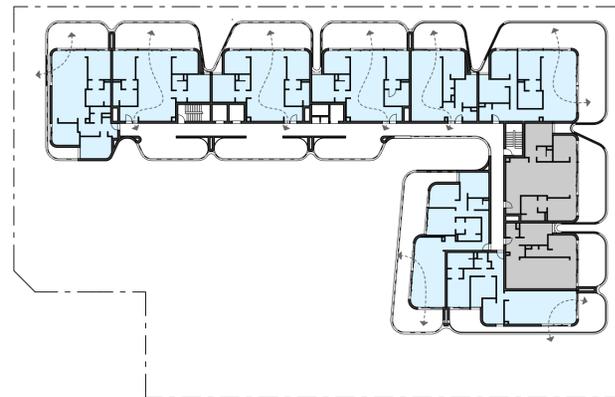
Level 02



Level 03



Level 04



Level 05

ADG Compliance - Cross Ventilation

Objective 4B-3 | Design Criteria

At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed

Apartments with natural cross-ventilation 40 (80%)
 Apartments without natural cross-ventilation 10 (20%)

Apartments with natural cross-ventilation (Overall) 40 (80%)

Total 50 Apartments

Floor (Story)	Zone Category	Room Number	Cross Ventilation
Level 01	RESIDENTIAL COMMUN.		---
	APT. 3BED	1.01	Compliant
	APT. 3BED	1.02	Compliant
	APT. 3BED	1.03	Compliant
	APT. 3BED	1.04	Compliant
	APT. 2BED	1.05	Compliant
	APT. 3BED	1.06	Compliant
	APT. 3BED	1.07	Non-Compliant
	APT. 2BED	1.08	Non-Compliant
	APT. 3BED	1.09	Compliant
Level 02	APT. 3BED	2.01	Compliant
	APT. 3BED	2.02	Compliant
	APT. 3BED	2.03	Compliant
	APT. 3BED	2.04	Compliant
	APT. 3BED	2.05	Compliant
	APT. 3BED	2.06	Compliant
	APT. 3BED	2.07	Non-Compliant
	APT. 2BED	2.08	Non-Compliant
	APT. 3BED	2.09	Compliant
	APT. 3BED	2.10	Compliant
Level 03	APT. 3BED	3.01	Compliant
	APT. 3BED	3.02	Compliant
	APT. 3BED	3.03	Compliant
	APT. 3BED	3.04	Compliant
	APT. 2BED	3.05	Compliant
	APT. 3BED	3.06	Compliant
	APT. 3BED	3.07	Non-Compliant
	APT. 2BED	3.08	Non-Compliant
	APT. 3BED	3.09	Compliant
	APT. 3BED	3.10	Compliant
Level 04	APT. 3BED	4.01	Compliant
	APT. 3BED	4.02	Compliant
	APT. 3BED	4.03	Compliant
	APT. 3BED	4.04	Compliant
	APT. 2BED	4.05	Compliant
	APT. 3BED	4.06	Compliant
	APT. 3BED	4.07	Non-Compliant
	APT. 2BED	4.08	Non-Compliant
	APT. 3BED	4.09	Compliant
	APT. 3BED	4.10	Compliant
Level 05	APT. 3BED	5.01	Compliant
	APT. 3BED	5.02	Compliant
	APT. 3BED	5.03	Compliant
	APT. 3BED	5.04	Compliant
	APT. 2BED	5.05	Compliant
	APT. 3BED	5.06	Compliant
	APT. 3BED	5.07	Non-Compliant
	APT. 2BED	5.08	Non-Compliant
	APT. 3BED	5.09	Compliant
	APT. 3BED	5.10	Compliant

02	13/9/2024	DA Submission	KT
01	8/9/2024	DA Submission - SCOP	KT

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277 The Grand Parade Ramsgate
 Australia
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Compliance Scale
 ADG Compliance - Cross Ventilation 1:500 @ A1

Project Code First Issued
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Sheet No. Rev
 9102 02

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Property Address 277 The Grand Parade, RAMSGATE NSW, 2217
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Shadow Diagrams

Winter Solstice June 21 9am - 3pm

- General notes**
- All dimensions and existing conditions shall be checked and verified by the contractor before proceeding with the work.
 - All levels relative to 'Australian Height Datum'.
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 - Use figured dimensions only.

Legend



9am



10am



11am



12pm



1pm



2pm



3pm

01 13/9/2024 DA Submission KT

Rev	Date	Description	By	Chk

277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
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Compliance	Scale
Shadow Diagrams	Not to Scale @ A1

Project Code	First Issued
BRAM	13/9/2024

Sheet No.	Rev
9103	01

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Shadow Diagrams - DCP Envelope & Proposed Comparison

Winter Solstice June 21 8am - 4pm

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- General notes**
- All dimensions and existing conditions shall be checked and verified by the contractor before proceeding with the work.
 - All levels relative to 'Australian Height Datum'.
 - Do not scale drawings.
 - Use figured dimensions only.

Legend

Winter Solstice June 21

- Proposed
- Combined
- DCP Envelope



JUNE 21 8am



JUNE 21 9am



JUNE 21 10am



JUNE 21 11am



JUNE 21 12pm



JUNE 21 1pm



JUNE 21 2pm



JUNE 21 3pm



JUNE 21 4pm

Rev	Date	Description	By	Chk
01	13/9/2024	DA Submission		KT

277 The Grand Parade Ramsgate
Australia
277 The Grand Parade Ramsgate
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Compliance	Scale
Shadow Diagrams - DCP Envelope	Plot to Scale @ A1 Comparison

Project Code	First Issued
BRAM	13/9/2024

Sheet No.	Rev
9104	01